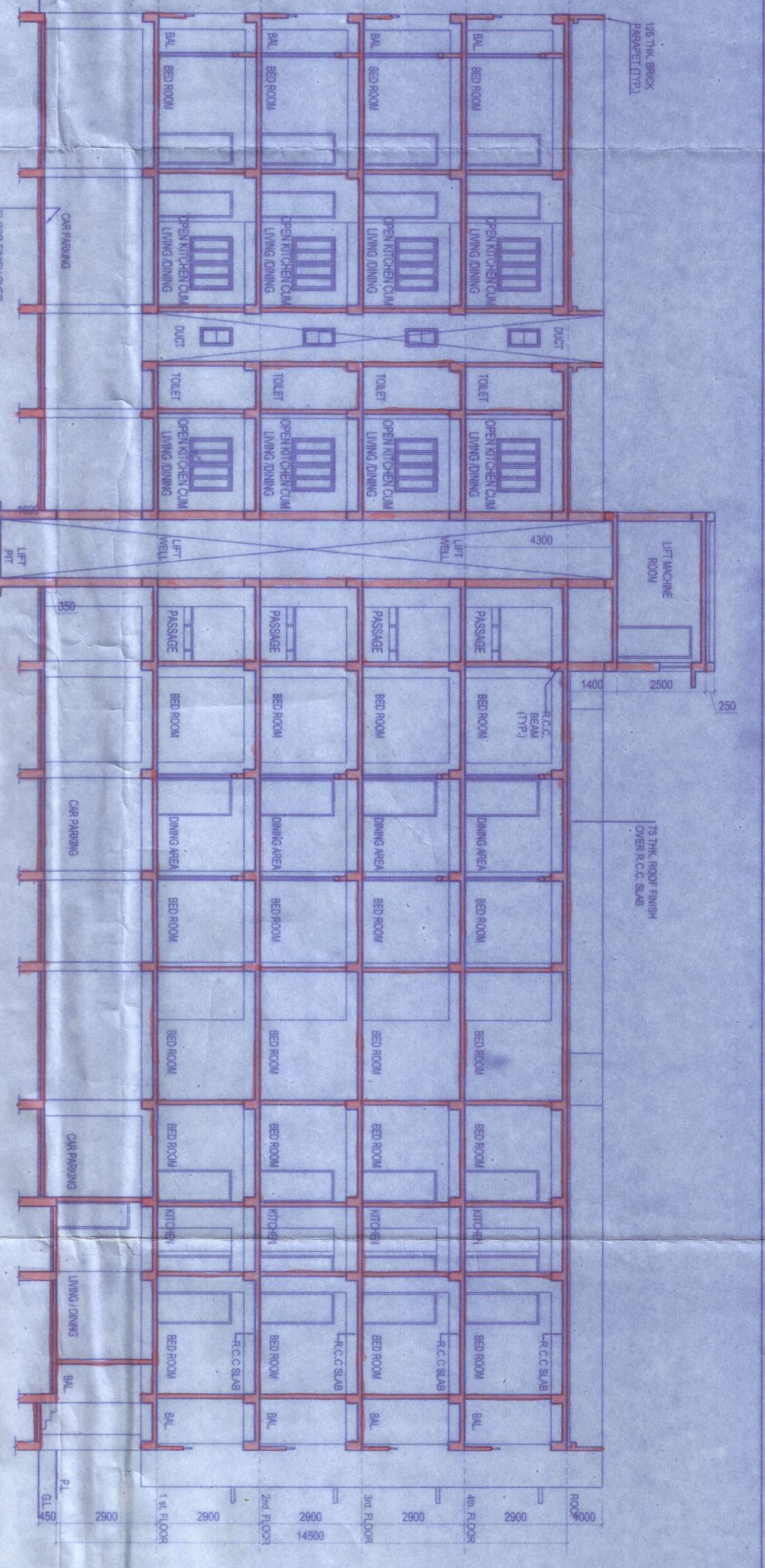
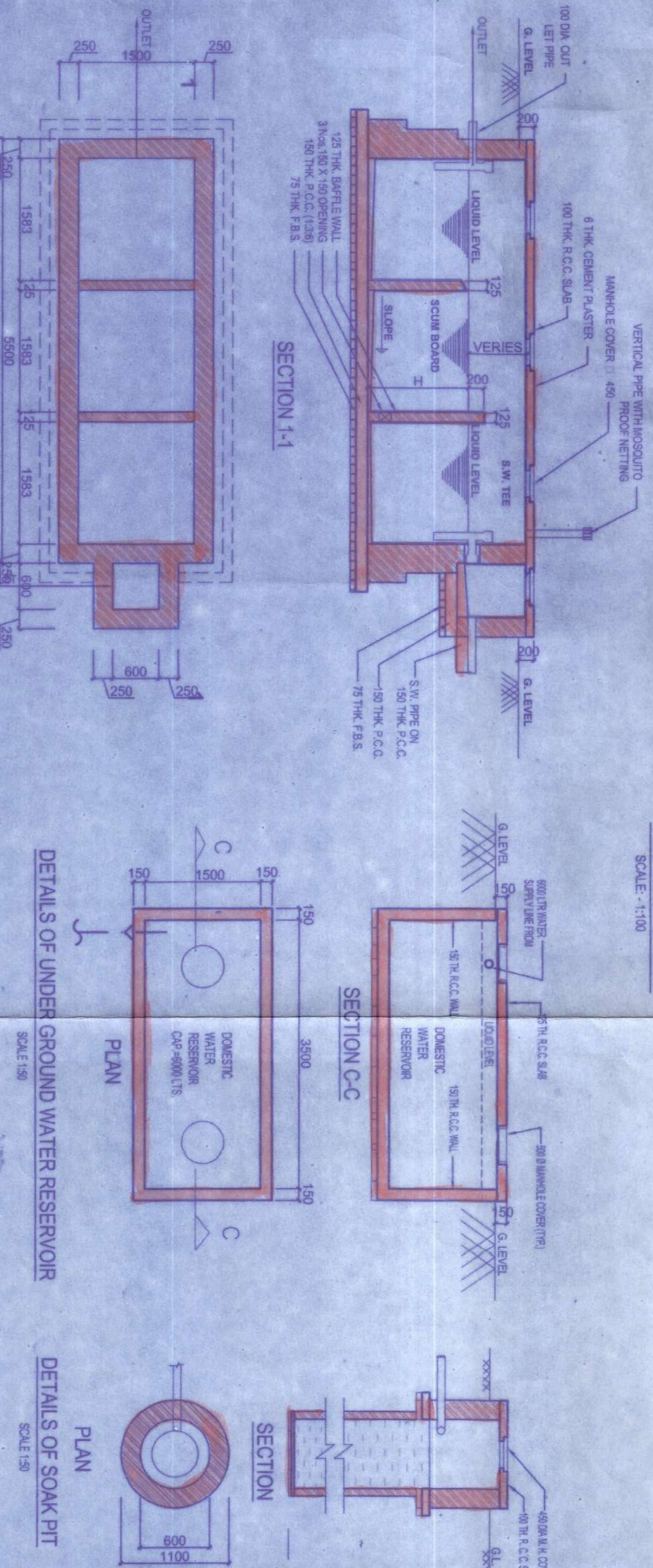


SOUTH-SIDE ELEVATION
SCALE: 1:100



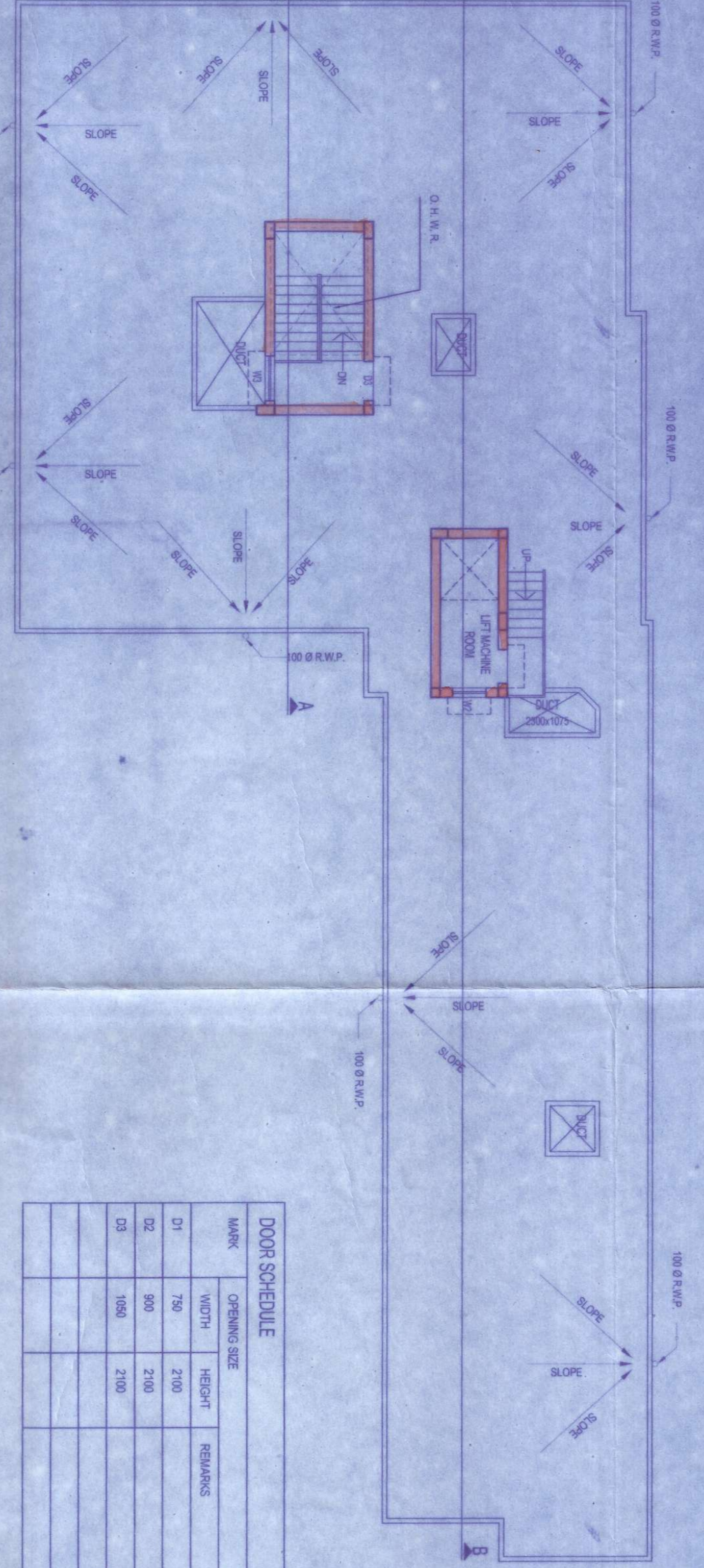
SECTION-B-B
SCALE: 1:100



SECTION-C-C
SCALE: 1:100

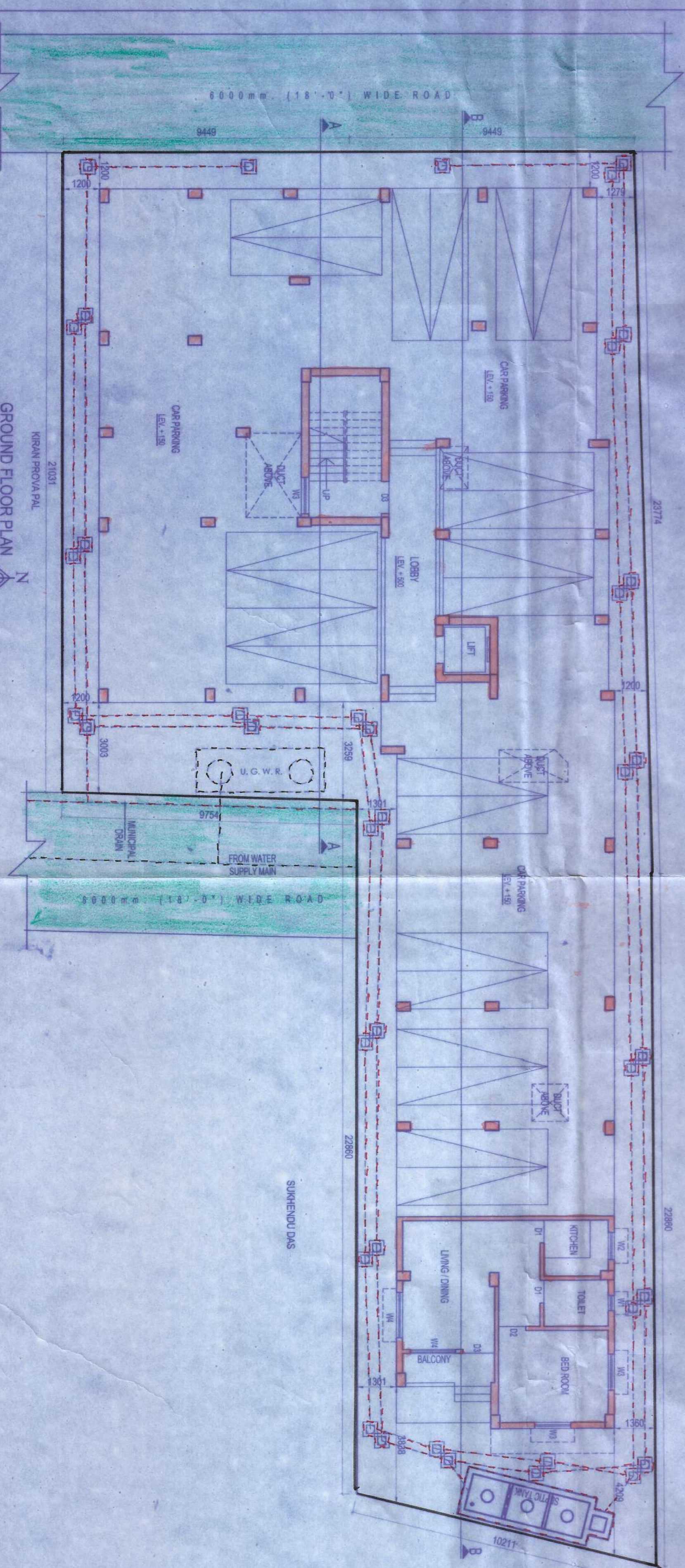
DETAILS OF UNDER GROUND WATER RESERVOIR
SCALE: 1:50

DETAILS OF SOAK PIT
SCALE: 1:50

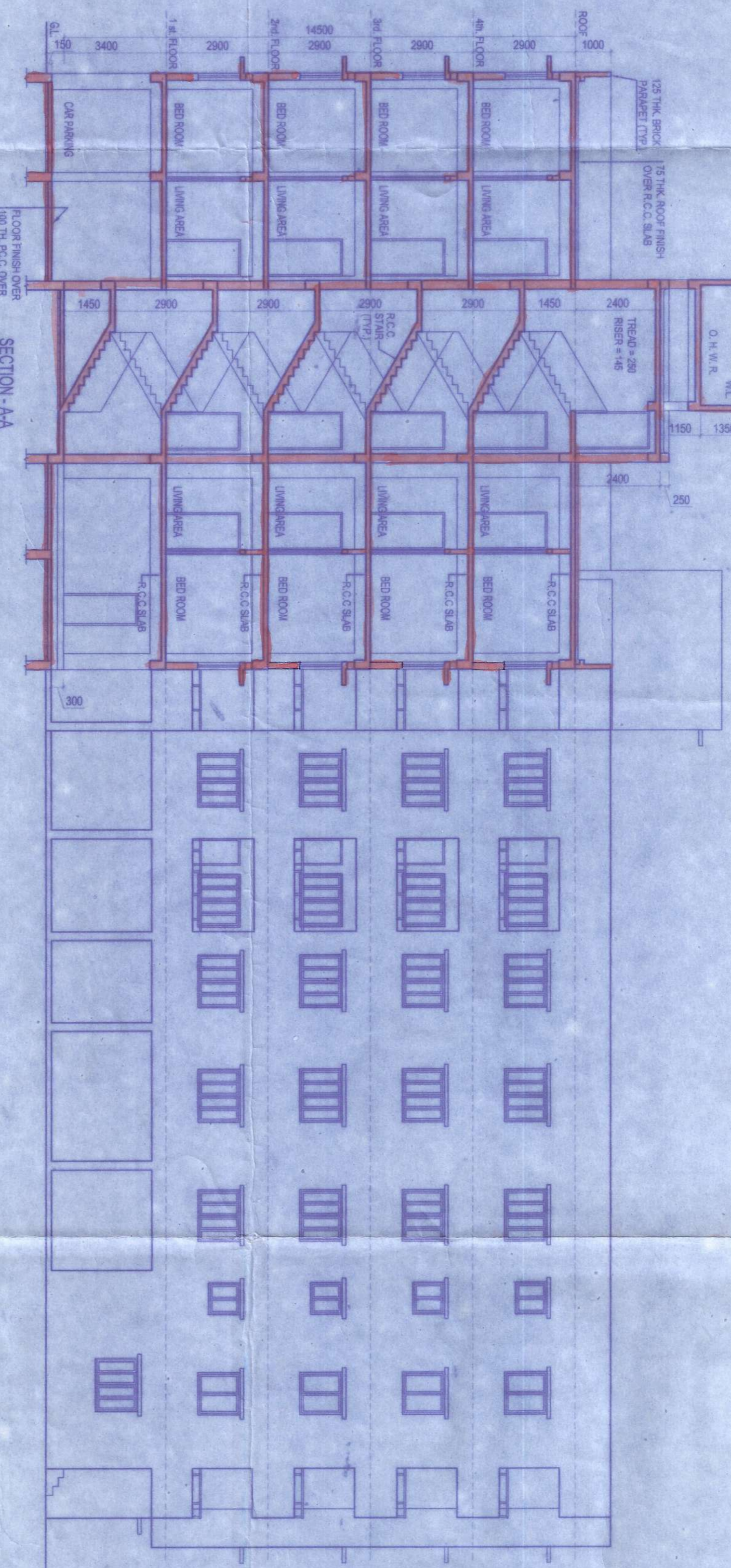


ROOF PLAN N
SCALE: 1:100

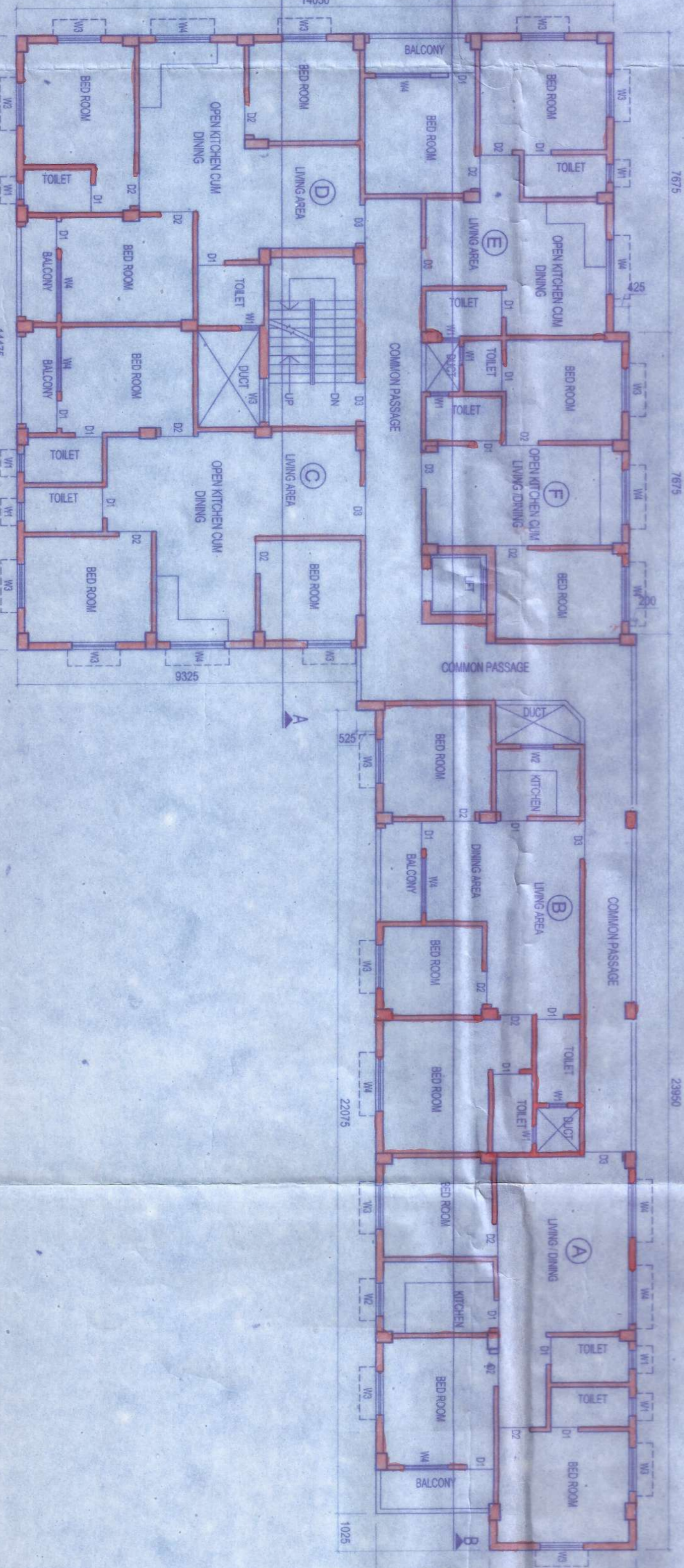
DOOR SCHEDULE				WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	REMARKS	MARK	WIDTH	HEIGHT	REMARKS
D1	1200	2100		W1	800	1200	
D2	800	2100		W2	900	1200	
D3	1800	2100		W3	1200	1200	
				W4	1500	1200	
				W5	1200	1200	
				W6	1200	1200	
				W7	1200	1200	
				W8	1200	1200	
				W9	1200	1200	
				W10	1200	1200	



GROUND FLOOR PLAN N
SCALE: 1:100



SECTION-A-A
SCALE: 1:100



TYPICAL FLOOR PLAN (1st to 4th) PLAN N
SCALE: 1:100

PROJECT
BUILDING PLAN OF THE PROPOSED G-1V
STORYED RESIDENTIAL APARTMENT
BUILDING AT J.L. NO. 16, L.R. DAG NO.
1951; L.R. KHATIAN NO. 3737; MOUZA:
SIMLA; P.S.: CHINSURAH UNDER KODALIA
1 NO. GRAM PANCHAYET, DIST. :
HOOGHLY

TITLE	DATE	BY	BY	BY
FLOOR PLANS SECTIONS, ELEVATIONS & OTHER DETAILS.	04.11.2015	CHD BY	TUSHAR	ADMS
DRAWN BY	SCALE	DESIGNED BY	ISSUED FOR	SANCTION
SUBBIA	1:100	SPICE CRAFT	SANCTION	
DRG. NO. SC/KM/C1/20/COOP/AR-02				

AREA STATEMENT	AREA OF THE PLOT:
PROPOSED COVERED AREA:	89 K + 10 CH. 40 SQFT. 1A 617.49 SQFT. (1A 6979 SQFT)
PROPOSED GROUND COVERAGE:	322.45 SQMT. (3471 SQFT)
PROPOSED COVERED AREA:	
GROUND FLOOR:	322.45 SQMT. (3471 SQFT)
FIRST FLOOR:	322.45 SQMT. (3471 SQFT)
SECOND FLOOR:	322.45 SQMT. (3471 SQFT)
THIRD FLOOR:	322.45 SQMT. (3471 SQFT)
FOURTH FLOOR:	322.45 SQMT. (3471 SQFT)
TOTAL FLOOR AREA:	1612.22 SQMT. (17364 SQFT)
PROPOSED FAR:	249
COVERED AREA IN GROUND FLOOR:	68.79 SQMT. (740 SQFT)
RESIDENTIAL AREA:	233.66 SQMT. (2530 SQFT)
GARAGE / CAR PARKING AREA:	
TOTAL RESIDENTIAL AREA:	1385.59 SQMT. (14949 SQFT)
TOTAL COMMERCIAL AREA:	NIL
TOTAL GARAGE / CAR PARKING AREA:	233.66 SQMT. (2530 SQFT)
SPARE COVERG. & LIFT MACHINE RM.	24.16 SQMT. (261 SQFT)
HEIGHT OF THE PROPOSED BUILDING:	14.85 MT.

DECLARATION OF ARCHITECT
I HEREBY CERTIFY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISIONS OF THE BUILDING REGULATIONS AND AS PER THE SITE CONDITIONS MENTIONED IN THE PLAN AND AS PER THE SITE CONDITIONS MENTIONED IN THE PLAN AND AS PER THE SITE CONDITIONS MENTIONED IN THE PLAN OR FILED UP WITH THE MUNICIPALITY.
ALL DIMENSIONS ARE IN M.M.
ALL EXTERNAL WALLS ARE 200 THK. AND ALL INTERNAL WALLS ARE 125 THK. BRICK WALL.
ALL P.C.C. WORK IN 1:2:4
ALL OTHER SPECIFICATIONS CONFORMING RELEVANT I.S.I. CODE.

SIGNATURE OF ARCHITECT
ANUJ DAS
C/O A. Regal Architects
CA / 2003 / 31495

RECOMMENDATION
I hereby recommend the above mentioned building plan for sanctioning as per the provisions of the Building Regulations and as per the site conditions mentioned in the plan and as per the site conditions mentioned in the plan or filed up with the MUNICIPALITY.
Signature of the recommending authority
Signature of the recommending authority
Signature of the recommending authority

SANCTION
Signature of the recommending authority
Signature of the recommending authority
Signature of the recommending authority

SIGNATURE OF OWNER